

Planning Commission Study Session

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: KEITH NEWMAN, PLANNER II

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THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER

(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: APRIL 4, 2018

SUBJECT: DR17-1186, BELLAZONA WELLNESS CENTER

STRATEGIC INITIATIVE: Community Livability

The congregate care facility provides another generational housing option within the Town of Gilbert.

REQUEST

DR17-1186, Bellazona Wellness Center: Site plan, landscaping, grading and drainage, building elevations, colors and materials, and lighting for approximately 2.61 acres, for an 87 unit congregate care facility, generally located at the southwest corner of Gilbert Road and Hackamore Avenue and zoned General Commercial (GC).

RECOMMENDED MOTION

Staff request input only. No motion required.

APPLICANT/OWNER

Company: Orcutt Winslow Company: Palazzo Gilbert Senior Living

Name: Michael Kolejka

Address: 2929 N. Central Ave., 11 Floor Address: 7602 N. Clearwater Parkway

Phoenix, Arizona 85012 Paradise Valley, Arizona 85253

Phone: 602-257-1764 Phone: 480-748-9601

Email: kolejka.m@owp.com Email: paradise7602@gmail.com

BACKGROUND/DISCUSSION

History

Date	Description		
April 13, 1976	Town Council approved A76-1 (Ordinance No. 185), annexing		
	approximately 6 acres into the Town of Gilbert, including a portion		
	of the subject site.		
May 31, 1983	Town Council approved A83-1 (Ordinance No. 344), annexing		
	approximately 521 acres into the Town of Gilbert, including a		
	portion of the subject site.		
March 3, 2005	The Town Council adopted a revised Zoning Map and L		
	Development Code (LDC), reclassifying all properties within the		
	Town of Gilbert. The zoning classification established for the		
	subject site is General Commercial (GC).		

Overview

The applicant is proposing a new two story, 58,791 square foot, 87 unit congregate care facility designed to provide a variety of skilled medical services. The subject site is approximately 2.61 acres located at the southwest corner of Gilbert Road and Hackamore Avenue. Currently a vacant house exists on the site and will be removed to accommodate the new facility.

The proposed development site is to be completed in a single phase and include numerous common amenities available to patients, including outdoor garden spaces, activity rooms, barber/beauty salon, coffee and snack bar, quiet rooms, and indoor and outdoor dining spaces. The facility will be designed in Arizona Mission style architecture including key features such as white stucco walls with tan trim, flat roofing, curvilinear gables, covered canopies with colonnades, arched entryways and windows, vertical metal lattice elements, shutters with wrought iron balconies, and clay roof tiles.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Residential > 3.5-5	Single Family-10 (SF-10)	Single Family Homes,
	DU/Acre		Rawhide Park
South	General Commercial	General Commercial (GC)	Office development,
			Gilbert Professional
			Park
East	Residential > 2-3.5	Single Family-7 (SF-7)	Single Family Homes,
	DU/Acre		Country Lane
West	Residential > 3.5-5	Single Family-6 (SF-6)	Single Family Homes,
	DU/Acre		Lago Estancia

Site	General Commercial	General Commercial (GC)	Abandoned single
			family home

Project Data Table

Site Development	Required per LDC	Proposed
Regulations		
Zoning	GC	N/A
Minimum Lot Area	N/A	N/A
Maximum Building Height	45'	34'-3"
Minimum Building Setback		
Front	25'	28'
Side to street	20'	22'
Side to non-residential	20'	92'
Rear to residential	75'	114'
Minimum Required Perimeter		
Landscape Area		
Front	25'	25'
Side to street	20'	20'
Side to non-residential	20'	20'
Rear to residential	40'	40'
Landscaping (% of lot area)	15%	38%
Parking Spaces	0.5 spaces per unit	0.5 spaces per unit

DISCUSSION

Site Plan: The 2.61 acre subject site contains two (2) vehicular access points, one with full access and a secondary access point that will be for exit only traffic. The primary full access point is located off Hackamore Avenue on the northwest side of the project site. The secondary access point is off of Gilbert Road and will be used only as an exit due to noncompliance with required spacing distances from the corner of Hackamore Avenue and the neighboring entry of the Gilbert Professional Park to the south. The parking calculation for the proposed facility is 0.5 spaces per bed with a total required parking amount of 44 spaces based on 87 beds. The number of spaces being provided is 47, which includes four (4) accessible spaces.

A 3' high CMU wall will be constructed along the side (northern) portion and a 6' high CMU wall along a portion of the eastern side to help screen the parking from public view and existing residents on the north side of Hackamore Avenue. Additionally, the site is surrounded by existing 6' high CMU walls along the southern and western property boundaries of the site. Both existing property boundary walls will be refinished facing the interior of the subject site to match the finish and colors of the proposed building.

There is an existing sidewalk along the eastern property boundary along Gilbert Road. A new 5' wide sidewalk will be constructed adjacent to Hackamore Avenue along the entire northern property boundary and connect with the existing sidewalk to the west of the site. The

pedestrian connections proposed for this project have been designed to tie into these sidewalks on the two primary building sides – to the north and to the east. A minimum 4' wide concrete sidewalk will run along the west and south sides of the facility.

Landscape Plan: The landscape area provides one (1) acre (38%) of open space where 15% of the net area is required. Proposed tree species throughout the site include Mulga, Chitalpa, Mediterrean Fan Palm, Italian Cypress, Ghost Gum, Texas Mountain Laurel, Swan Hill Olive, Desert Museum Palo Verde, Phoenix Mesquite, Mondel Pine, Red Push Pistache, Evergreen Elm, Mexican Fan Palm, and Chaste Trees. A line of Desert Museum Palo Verdes and Mexican Fan Palms will be planted along the northern and eastern property boundaries along with shrubs. Mexican Fan Palms are required along Gilbert Road as a streetscape theme tree. The plant palette for the site is very extensive and colorful and includes nineteen (19) varieties of shrubs, five (5) varieties of groundcovers, one (1) species of vines and turf along portions of the eastern and western property boundaries. There is ample foundation planting along all sides of the building and two types of decorative rock will be used throughout the site.

Grading and Drainage: The total volume required for on-site retention is 26,708 cubic feet (CF). There are two (2) retention basins on site that will provide up to 27,384 CF of water retention. The largest of these basins is at the southwest corner of the property. Town Engineering's initial review indicates the proposed conceptual grading and drainage systems are generally acceptable.

Building Elevations: Exterior materials are largely a smooth white stucco finish complimented with accents of brick and a tan-colored trim, wrought iron metal lattice, clay tile roofing and shutters with wrought iron balconies around various windows. The roofing of the building is generally flat with parapet walls all the way around the structure. Additional parapet walls will be constructed on top of the flat roofing towards the center of the building to screen roof top mechanical units.

During review, staff has expressed concerns over the vertical form and relationship of the mechanical screening walls to what has been designed for the parapet walls above the main building walls. Especially on the north elevation which face existing homes immediately across the street along Hackamore Avenue and on the south elevation which faces the Gilbert Professional Park, Staff has suggested "breaking-up" the long horizontal planes by matching the vertical form of the parapet walls at the edge of the building. In response, the applicant has revised the mechanical screening walls to include a cornice on top and has changed the vertical form by breaking up the long wall planes to better complement the main building walls. These revisions by the applicant have greatly helped to alleviate Staffs concerns.

Staff has also expressed concern about the level of design on the north elevation, which immediately faces existing homes across the street on Hackamore Avenue. Due to the close proximity and visual impact of the proposed building to the residents, additional design elements have been suggested in various locations to provide more variety and enhance the visual interest by adding features such as arched windows, canopies with clay tile roofing, and window shutters with wrought iron balconies. In response, the applicant revised some of the square windows to have arched tops, added shutters around various windows and added a canopy with clay tile

roofing to the north elevation. These revisions by the applicant have greatly helped to alleviate Staffs concerns.

Floor Plan: The proposed facility will have one main entry off the entry/visitor parking area on the west side of the site. Upon entering the building, visitors, family and prospective residents, will be greeted by a reception area and lounge space. A coffee and snack bar with an outside dining area will serve visitors and staff. Residents will dine in private dining areas nearby their rooms. The central kitchen, laundry and facility maintenance programs will be along the southern portion of the first floor and will support the overall building.

Common amenities, the main administration offices, therapy programs (including physical, occupation and speech therapy), a Physician Suite, Salon and other business functions will be located in the northwest wing of the first floor. The first floor will include 34 all-private directed care rooms for memory care residents. The U-shaped layout will open onto an interior, secured landscaped courtyard for memory care residents to enjoy the outdoors.

The second floor of the building will house another 27 all-private short-term rehabilitation skilled nursing units and 26 all-private long-term skilled nursing units (53 units total this floor). The short-term and long-term directed care units are separate wings served by separate services.

Lighting and Signage: The photometric plan meets the requirements of the Town of Gilbert with a maximum of 0.3 foot-candles at the adjacent property lines.

One 4'-7" free standing monument sign, matching the colors and materials of the building and site walls, is proposed at the corner of Gilbert Road and Hackamore Avenue. The design will include a red brick base with a concrete cap and gray colored stucco for the main body. At this time it is not known where future wall signage will be located on the building. Staff has informed the applicant that all proposed signage will be required to receive the approval of a sign permit through a separate process. The project signage will be required to adhere to the Town of Gilbert Land Development Code.

PUBLIC NOTIFICATION AND INPUT

The proposed project will require a public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

REQUESTED INPUT

- 1. General observations relating to overall site plan and site details.
- 2. Feedback about the building relating to rooflines and overall architecture.

Respectfully submitted,

Keith Newman Planner II

Attachments and Enclosures:

- 1) Aerial Photo
- 2) Site Plan

- 3) Landscape Plan
 4) Lighting Plan
 5) Grading and Drainage Plan
 6) Building Elevations
 7) Materials Board

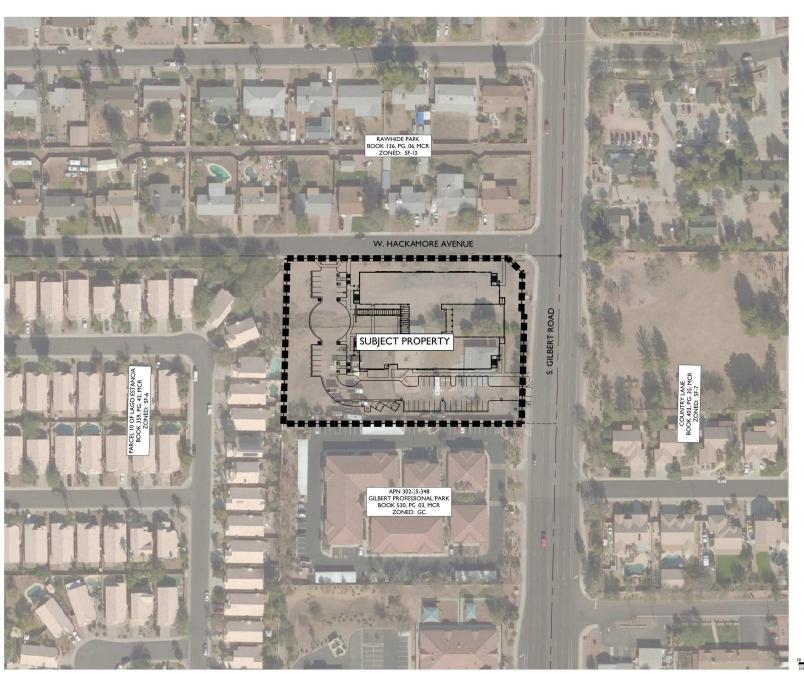
02.14.2018

PROJECT TEAM

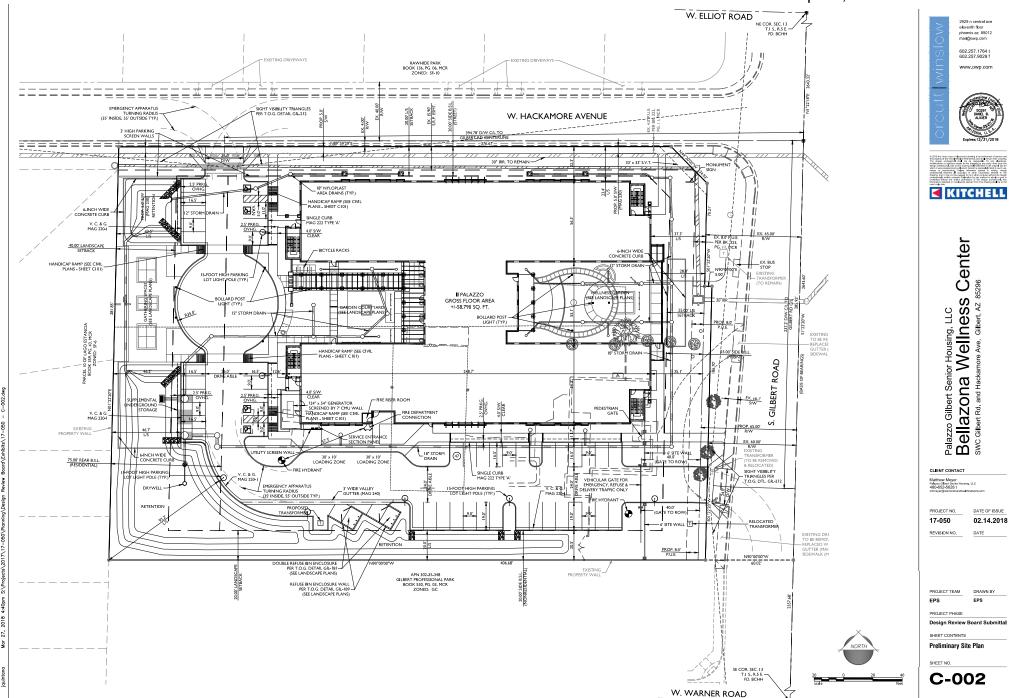
Design Review Board Submitta

Preliminary Site Plan Aerial Context Map

C-001



DR17-1186 Attachment 2-Site Plan April 4, 2018

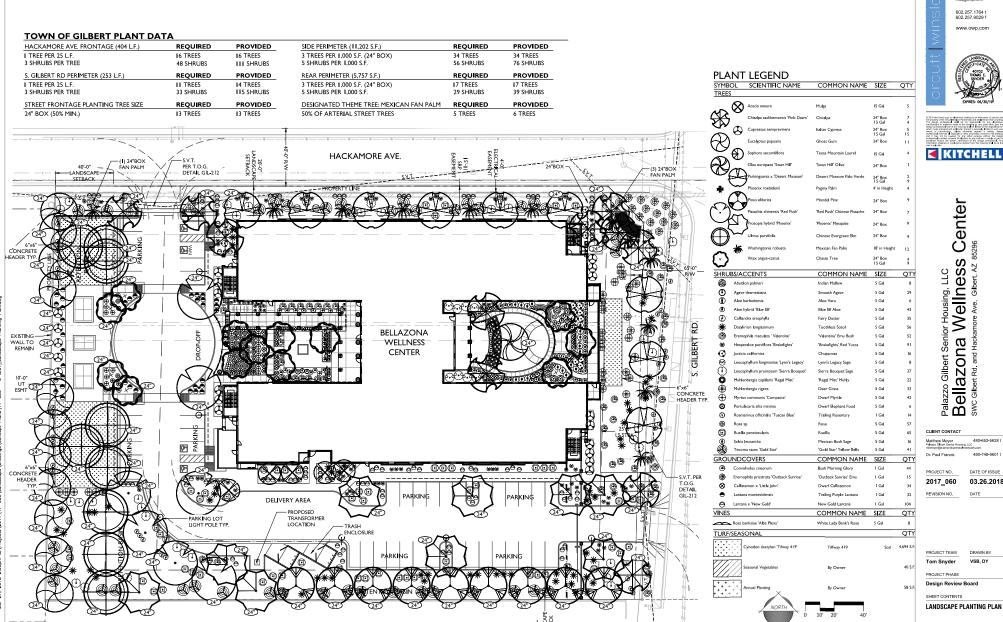








DR17-1186 Attachment 3-Landscape Plan April 4, 2018



EXISTING COMMERCIAL

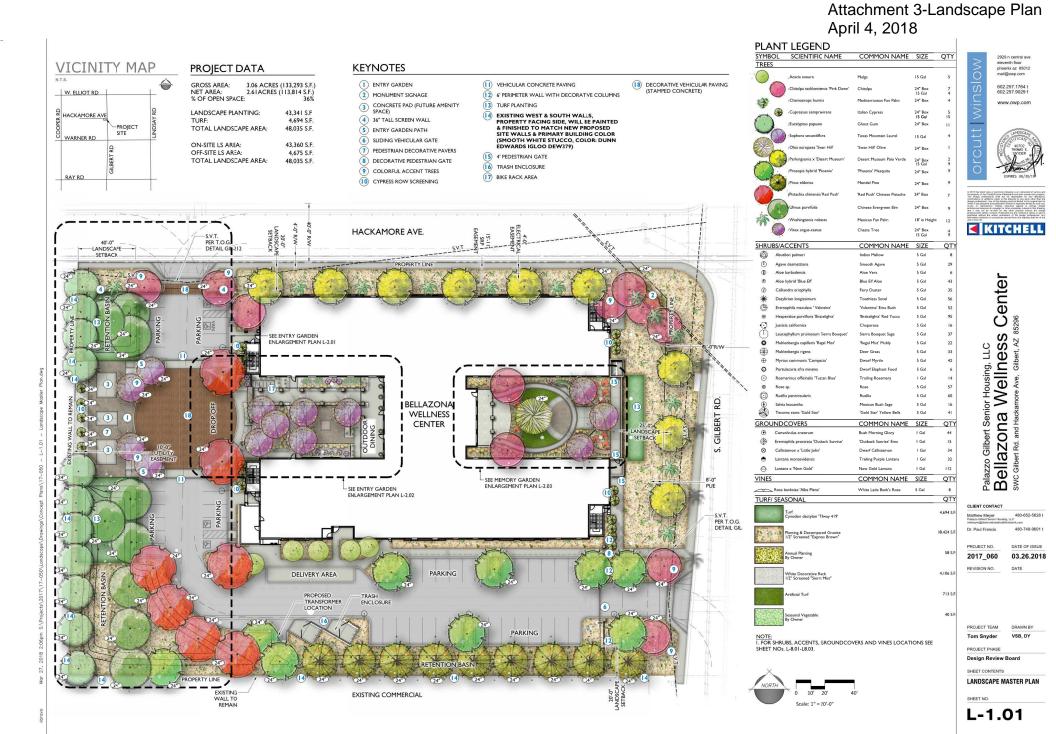
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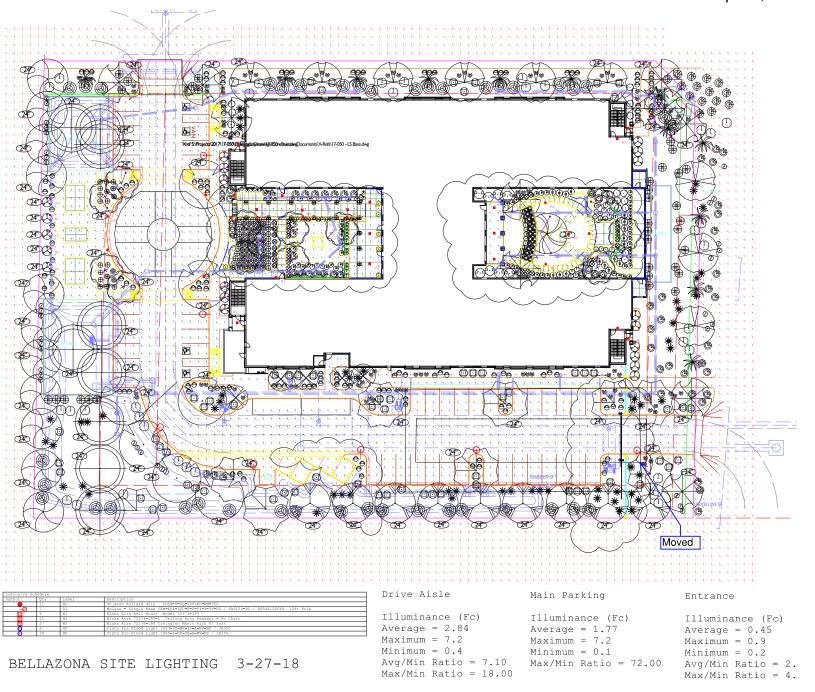


03.26.2018

L-8.01



DR17-1186



DR17-1186 Attachment 5-Grading & Drainage Plan April 4, 2018

CONTRACTOR: PRELIMINARY GRADING & DRAINAGE PLAN ORCUTT | WINSLOW ADDRESS 3003 N. CENTRAL AVE. 16TH FL ADDRESS 1707 E HIGHLAND AVE. 5TE 190 PHONE 602-257-176 PHONE 602-257-176 CONTACT: MER KOLEJKA CONTACT: TANYA SMACHEZ-TREJO **BELLAZONA WELLNES CENTER** CIVIL ENGINEER:

ARCHITECT:

EPS GROUP, INC. ADDRESS: 2045 S. VINEYARD AVE., STE. 101

TOWN OF GILBERT, ARIZONA

A PORTION OF SECTION 13. T.I S., R.S E. OF THE GILA AND SALT RIVER MERIDIAN. MARICOPA COUNTY, ARIZONA



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CLIENT CONTACT Matthew Meyer Panazzo Gibert Senior Housing, LLC 480-652-5628 t

DATE OF ISSUE

17-050 REVISION NO.

EPS

EPS

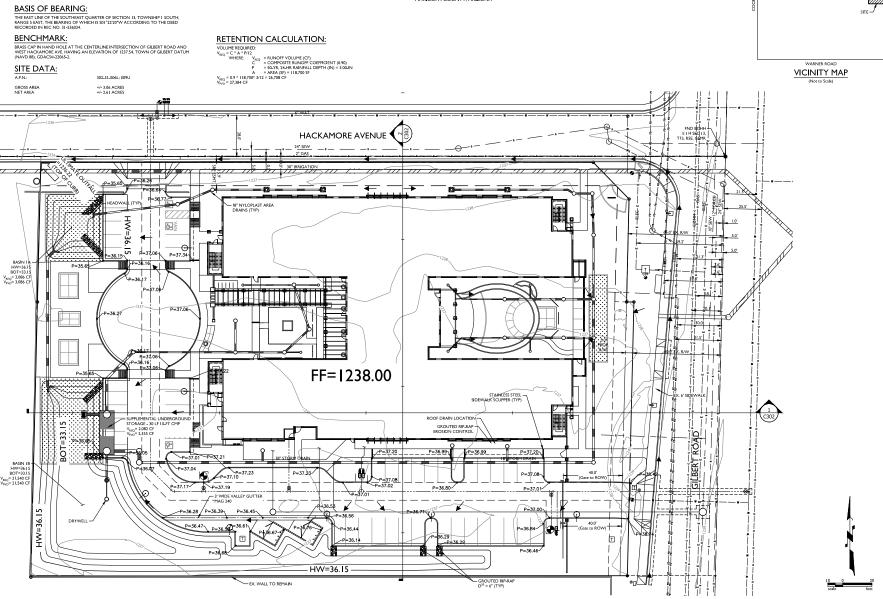
02.14.2018

PROJECT PHASE Design Review Board Submittal

Preliminary Grading &

Drainage Plan

C301



DR17-1186 Attachment 6-Building Elevations

www.owp.com











Palazzo (Bell

CLIENT CONTACT 2017_060 3.22.2018

PROJECT TEAM Kolejka

PROJECT PHASE

SHEET CONTENTS building elevations

A-201

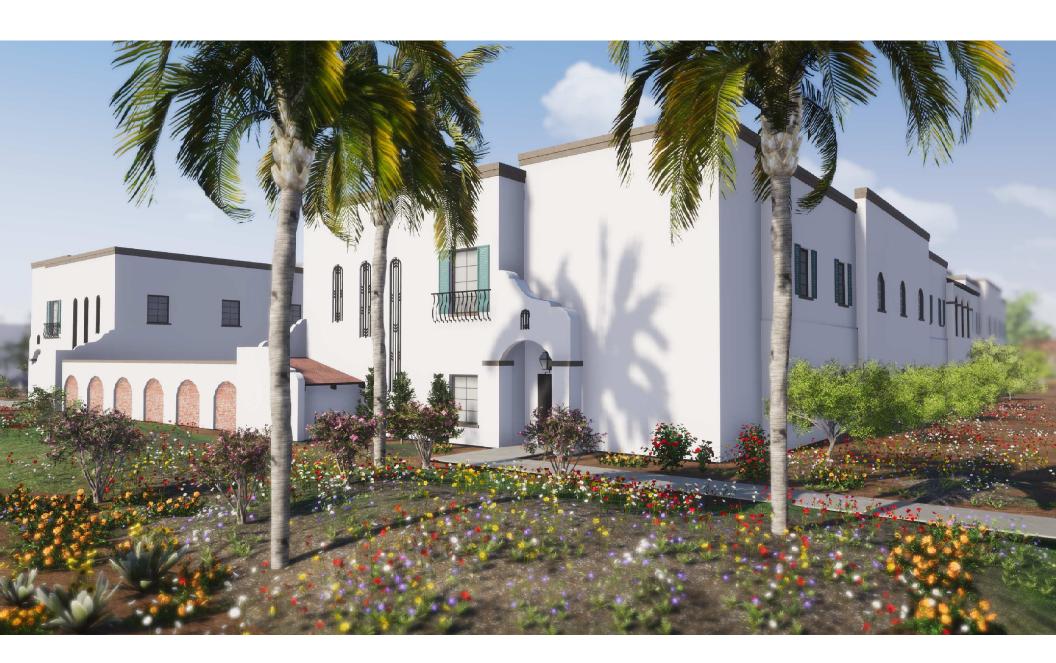
DR17-1186 Attachment 6-Building Elevations April 4, 2018













DR17-1186 Attachment 6-Building Elevations April 4, 2018





DR17-1186 Attachment 7-Materials Board April 4, 2018

Town of Gilbert

Tracking No. PA17-1004

Material Color Board

Primary Exterior Materials & Colors:

Smooth White Stucco (apx 95%) ~ Color: Dunn Edwards Igloo DEW379

Smooth Beige Stucco Trim (apx 2%) ~ Color: Dunn Edwards Stanford Stone DET696

Blended Brick Walls (apx 2%) ~ Summit Brick pattern: 402TBL Alameda

Clay tile roof (apx 2%) ~ Tile by Boral – Color: Bermuda Blend

Metal Screening Panels (apx 1%) ~ Color: Dunn Edwards Espresso Macchiato DET680

Shutters ~ Color: Dunn Edwards Aegean Sea DE5788

Landscape Wall Caps & Decorative Wall Insets ~Mesa Precast Color: Natural Honey





Blended Brick Walls – Summit Brick pattern: 402TBL Alameda (see sample delivered with DRB Submittal – above patterns are similar to choosen pattern but not exact)



Decorative Wall Insets and Landscape Wall Cap Mesa Architectural Precast Color: Natural Honey



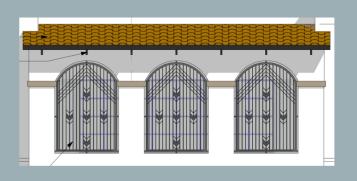
Clay tile roof

— Tile by Bord

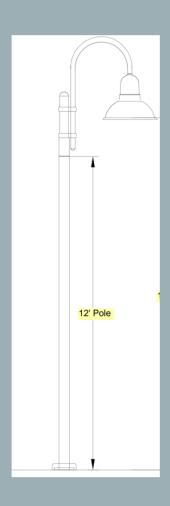
Color: Bermuda Blend

Secondary Exterior Materials:

Dark Bronze Wrought Iron Panels ~ painted DE680 Espresso Macchiato







Project Rendering:

Gilbert Road Elevation

